

# GRIFFITH PROPERTIES (7-LOT SHORT PLAT) CLEARING, GRADING AND TESC PLANS

**NOTE TO CONTRACTOR: RECORD DRAWINGS**

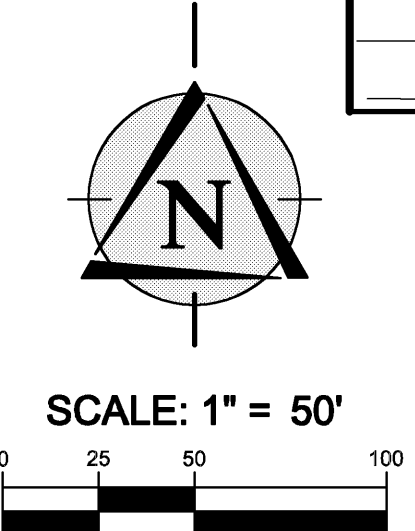
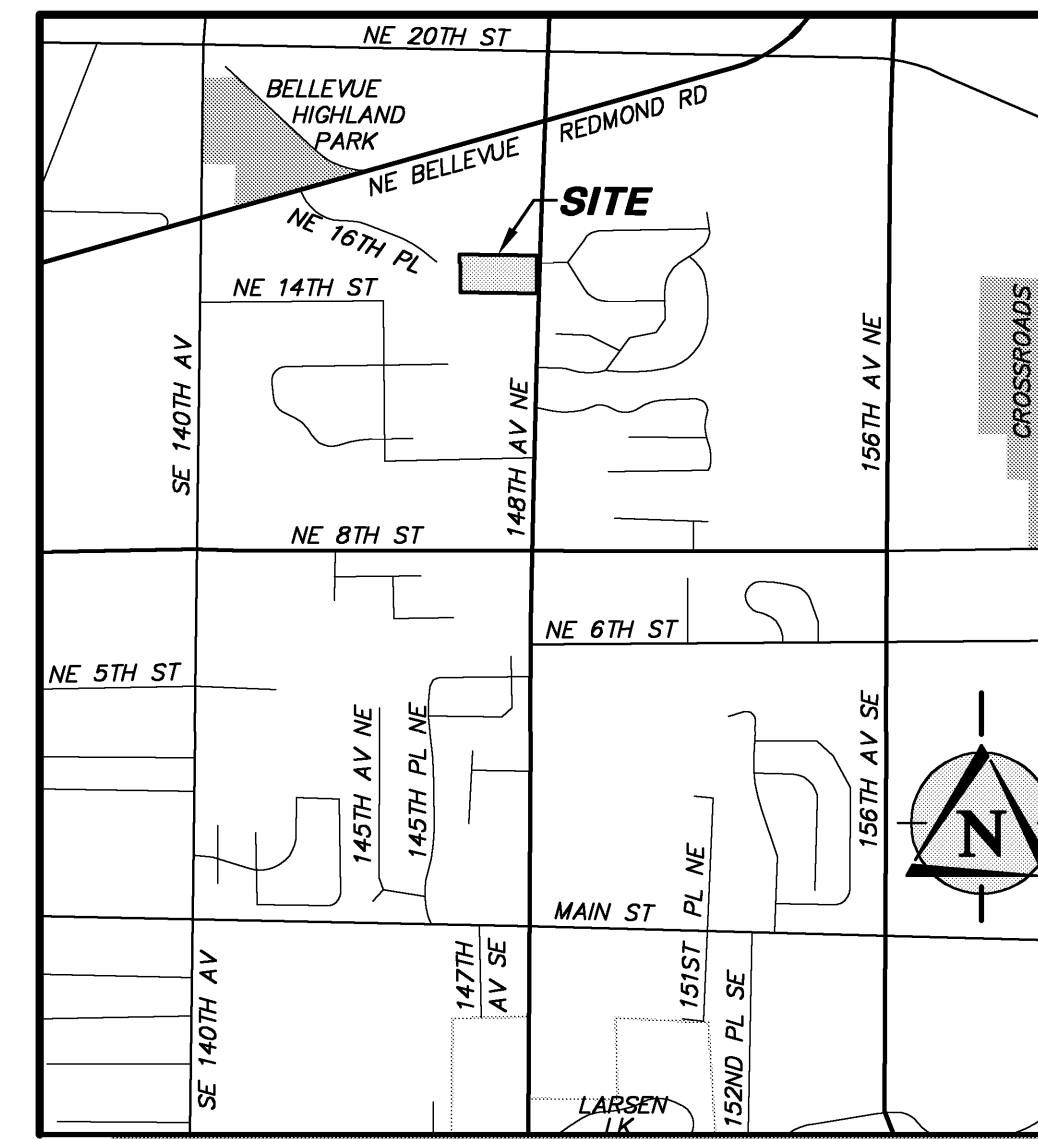
PRIOR TO FINAL ACCEPTANCE OF INFRASTRUCTURE IMPROVEMENTS, RECORD DRAWINGS MUST BE PREPARED BY THE ENGINEER AND SUBMITTED TO THE PERMITTING AGENCY FOR REVIEW/APPROVAL. THE CONTRACTOR SHALL ANTICIPATE NEED FOR AS-BUILT FIELD SURVEY AND NOTIFY THE SURVEYOR WHEN FACILITIES ARE CONSTRUCTED, ACCESSIBLE AND READY FOR SURVEY.

TO AVOID DELAY AND COSTS ASSOCIATED WITH RE-EXCAVATION, OR ADDITIONAL SERVICES TO SATISFY OSHA REQUIREMENTS FOR WORK WITHIN CONFINED SPACE, THE CONTRACTOR SHALL:

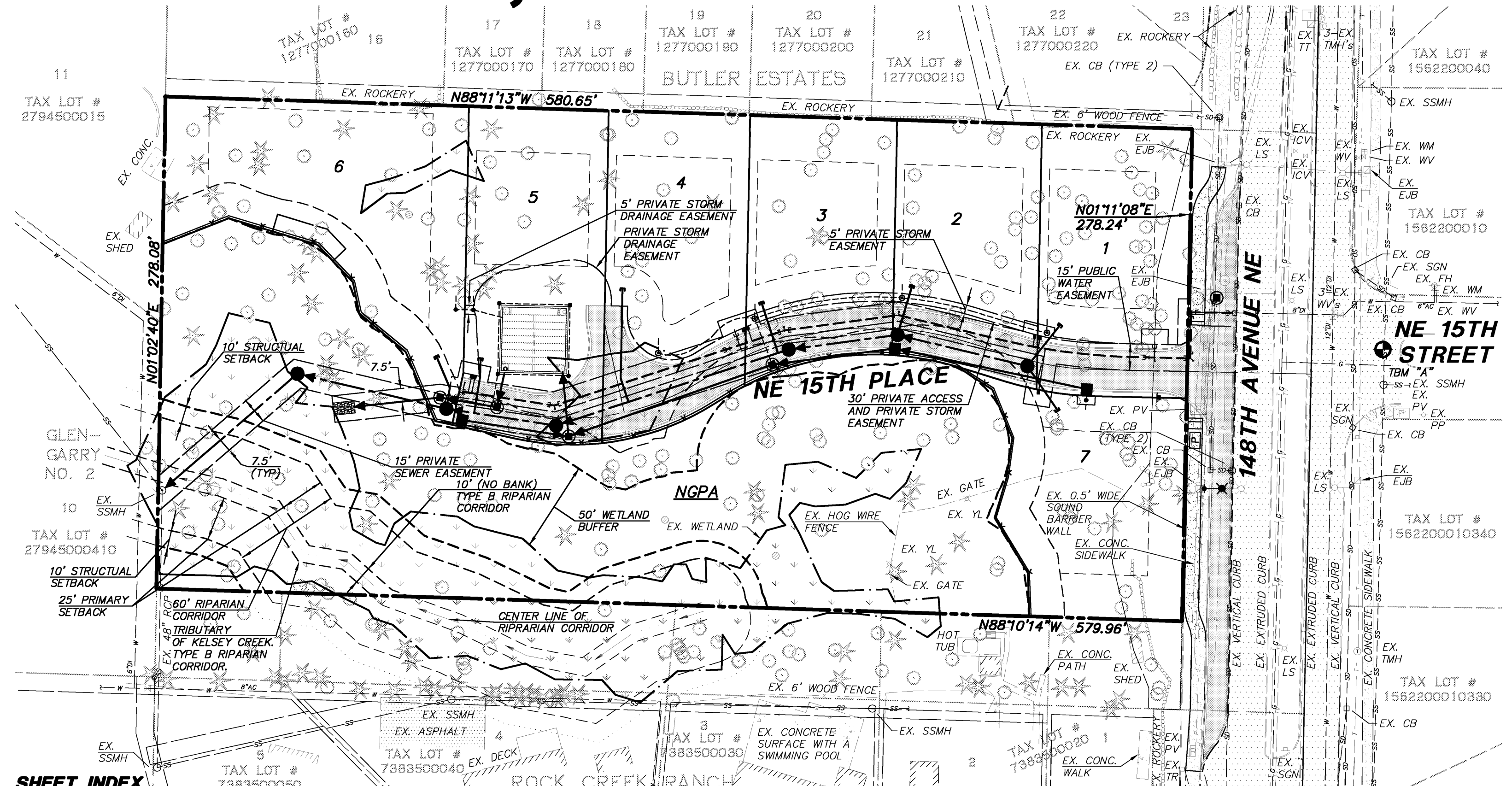
PROVIDE ADEQUATE NOTICE TO THE SURVEYOR TO ENABLE SCHEDULING OF AS-BUILT SURVEY OF THOSE FACILITIES NOT VISIBLE FROM THE SURFACE PRIOR TO BACKFILL (WHEN POSSIBLE), AND PRIOR TO THE INSTALLATION OF THE TOPS OF DRAINAGE VAULTS (ALWAYS). ALL BURIED UTILITIES REQUIRED TO BE AS-BUILT SHALL BE REFERENCED BY APPROPRIATE MARKERS SUCH AS SHOWN WITHIN THE STANDARD DETAILS OF THESE PLANS. IF A UTILITY MARKER IS DESTROYED OR REMOVED BEFORE AS-BUILT INFORMATION IS ACQUIRED BY THE SURVEYOR, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO EXPOSE SUCH UTILITY FOR MEASUREMENT.

OR, BUT ONLY IF ACCEPTABLE TO THE PERMITTING AGENCY

OTHERWISE MAINTAIN AN ACCURATE RECORD OF DRAINAGE VAULT/FLOW RESTRICTOR DIMENSIONS, PENETRATIONS AND INVERT ELEVATIONS; SANITARY SEWER AND STORM DRAINAGE TEE LOCATIONS, STUB CLEANOUT LOCATIONS AND STUB INVERT ELEVATIONS; ALSO WATER BEND AND WATER TEE LOCATIONS, IF REQUIRED; ADDITIONALLY, IF REQUIRED, THE TOP OF WATER MAIN ELEVATIONS AT 50' O.C. SHALL BE RECORDED. THESE RECORDS SHALL BE PROVIDED TO TRIAD ASSOCIATES UPON COMPLETION OF UTILITY/DRAINAGE WORK.



LEGEND	
<b>GRADING AND TEMPORARY EROSION AND SEDIMENTATION CONTROL</b>	
--- BOUNDARY	--- ROCKERY
--- LOT LINE	--- CUT SLOPES
--- RIGHT-OF-WAY	--- FILL SLOPES
--- GUTTER, FLOW, & CURB LINE	--- RIPRAP
--- CENTER LINE	--- CURB RAMP
--- EASEMENT	--- STREET LIGHT
--- BUILDING SETBACK LINE (BSBL)	--- MAILBOX
--- STORM DRAIN PIPE	--- SIGN
--- ROOF & FOOTING DRAIN	--- CURB RAMP
--- ROCKERY DRAIN	--- CURB RAMP (FLARED)
--- 10' PROPOSED CONTOURS	--- STREET LIGHT
--- 422' PROPOSED CONTOURS	--- SWALE OR DITCH
--- FENCE	--- TOP OF 40% SLOPE
--- SWALE OR DITCH	--- EDGE OF WETLAND
--- NATIVE GROWTH PROTECTION EASEMENT (NGPE)	--- BUFFER LINE
--- RETAINING WALL	--- FILTER FENCE
--- BARRICADE	--- DAYLIGHT LINE
<b>CLEARING</b>	
--- LIMITS OF CLEARING	--- PROPOSED GRAVEL
--- TEMPORARY INTERCEPTOR SWALE	--- PROPOSED ASPHALT PAVEMENT
--- TEMPORARY INTERCEPTOR CULVERT	--- PROPOSED SIDEWALK
--- ROCK CHECK DAM	--- PROPOSED CONCRETE
--- STRAW BALES	--- WETLAND
--- OVERFLOW STRUCTURE	--- ≥40% SLOPE
--- CATCH BASIN, TYPE I	--- RIPRAP
--- CATCH BASIN, TYPE II	
--- STORM CLEANOUT	
--- YARD DRAIN	
--- TEMPORARY STAND PIPE	
--- INTERIM CATCH BASIN PROTECTION	
<b>PROPOSED STORM DRAINAGE</b>	
--- STORM DRAIN PIPE	--- PIPE FLOW
--- ROOF & FOOTING DRAIN	--- CULVERT END
--- SURFACE FLOW	--- STORM CLEANOUT
--- CATCH BASIN, TYPE I	
--- CATCH BASIN, TYPE II	
<b>PROPOSED SANITARY SEWER AND WATER</b>	
--- SEWER MAIN	--- FIRE HYDRANT
--- SEWER SERVICE	--- BLOW OFF
--- WATER MAIN	--- GATE VALVE
--- SEWER MANHOLE	--- TEE
--- PIPE FLOW	--- BEND
--- SINGLE WATER METER	--- CONCRETE BLOCKING
<b>EXISTING FEATURES</b>	
--- 300' EXISTING CONTOURS	--- EXISTING GUY ANCHOR
--- 2' EXISTING CONTOURS	--- EXISTING WATER METER
--- SD EXISTING STORM DRAIN PIPE	--- EXISTING FIRE HYDRANT
--- SS EXISTING SEWER MAIN	--- EXISTING AIR/VAC RELEASE VALVE
--- W EXISTING WATER MAIN	--- EXISTING BLOW OFF
--- PO EXISTING POWER LINE	--- EXISTING GATE VALVE
--- UGP EXISTING UNDERGROUND POWER LINE	--- EXISTING CONFEROUS TREE
--- G EXISTING GAS MAIN	--- EXISTING DECIDUOUS TREE
--- TL EXISTING TELEPHONE LINE	--- EXISTING GRVEL
--- EXISTING CATCH BASIN, TYPE I	--- EXISTING ASPHALT
--- EXISTING CATCH BASIN, TYPE II	
--- EXISTING SEWER MANHOLE	
--- EXISTING POWER POLE	
--- EXISTING POWER VAULT	



**SHEET INDEX**

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4	PRIVATE ROADWAY PLAN
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9-10	WETLAND AND BUFFER RESTORATION PLANS

**1 of 1 TREE RETENTION PLAN**

**1 AND 2 BOUNDARY AND TOPOGRAPHIC SURVEY LEGAL DESCRIPTION**

THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 25 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON; EXCEPT THE EAST 70.00 FEET THEREOF FOR 148TH AVENUE NORTHEAST. ALSO EXCEPT THE SOUTH 50.00 FEET THEREOF.

SITUATE IN THE CITY OF BELLEVUE, THE COUNTY OF KING, STATE OF WASHINGTON.

**GENERAL NOTES**

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON NOVEMBER 8, 11, 14, 15, 16 AND 17 OF 2009, AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME.

**FLOOD NOTE**

BY GRAPHICAL PLOTTING ONLY, THIS SITE IS IN SPECIAL FLOOD HAZARD AREA ZONE 'X' ACCORDING TO FLOOD INSURANCE RATE MAP NO. 5303300857 F (PANEL 657 OR 1725), HAVING AN EFFECTIVE DATE OF MAY 16, 1995. ZONE 'X' AREAS ARE DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

**SCHEDULE B - SPECIAL EXCEPTIONS**

- CITY OF BELLEVUE SLOPE EASEMENT WITH RIGHT OF INGRESS AND EGRESS FOR REPAIR AND MAINTENANCE, REC. NO. 800710533. EASEMENT HAS BEEN MODIFIED BY QUIT CLAIM DEED, REC. NO. 8311040593.
- CITY OF BELLEVUE RIGHT OF WAY FOR INGRESS AND EGRESS FOR REPAIRS AND MAINTENANCE, REC. NO. 8309280578.
- SETTLEMENT AGREEMENT, TERMS AND PROVISIONS, REC. NO. 9702241113.
- LITIGATION SETTLEMENT, TERMS AND PROVISIONS, REC. NO. 2003104001807.
- ENCROACHMENT AND OTHER MATTERS DISCLOSED BY SURVEY, REC. NO. 9712159002.

**AREA**  
161,409 SF (3.7 AC)

**DATUM**  
CITY OF BELLEVUE NAVD 1988

**BASIS OF BEARING**  
HORIZONTAL DATUM: NAD 83/91 WASHINGTON NORTH ZONE

ESTABLISHED HOLDING CITY OF BELLEVUE PUBLISHED COORDINATES FOR SURVEY CONTROL MONUMENTS NOS. 0069 AND 0083. PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA SR 9500 EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING LEICA ELECTRONIC TOTAL STATIONS FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WAC 332-130-090.

COORDINATES ASSOCIATED WITH THIS DRAWING ARE PROJECT COORDINATES WHICH MAY BE CONVERTED TO STATE PLANE GRID COORDINATES BY SUBTRACTING 100,000 METERS (328,083.3333 FEET), THEN MULTIPLYING BY 0.99997084060. THE INITIAL COORDINATE CONVERSION WAS PERFORMED USING LEICA SKI-PRO V. 3. 0 SOFTWARE.

**BENCH MARK**

ORIGINAL BENCHMARK - CITY OF BELLEVUE BENCH MARK NO. 5, A CHISEL 2" SQUARE IN THE TOP SOUTH END/BACK OF CONCRETE STAIRWAY IN COMMISSIONER'S WATERWAY PARK AT THE SOUTHEAST CORNER OF THE INTERSECTION OF 148TH AVE. NE AND BELLEVUE-REDMOND ROAD. ELEVATION = 291.79

TBM "A" - MAG NAIL - LOCATED AT 52± EAST OF THE INTERSECTION OF 148TH AVE. AND 15TH ST. - ELEVATION = 285.54

TBM "B" - MONUMENT - LOCATED ON 13TH PL. 25± EAST OF 148TH AVE NE - ELEVATION = 271.04

**STATISTICAL INFORMATION:**

1. LAND USE ZONE:	R-2.5
2. SITE AREA:	161,409 SF (3.7 AC)
3. SITE DATA SUMMARY:	
A. NO. OF DWELLING UNITS/ACRE:	2.5      1.89
B. TOTAL NO. OF DWELLING UNITS:	7      7
4. PERCENTAGE OF LOT COVERAGE:	MAX. 35%      MAX. 35%
5. PERCENTAGE OF IMPERVIOUS SURFACE:	MAX. 55%      MAX. 35%
6. BUILDING HEIGHT:	MAX. 30 FEET      MAX. 30 FEET
7. TOTAL NO. OF PARKING SPACES:	14      14

**PROJECT INFORMATION**

**OWNERS:**  
EVAN McMULLEN  
14642 NE 13th PLACE  
BELLEVUE, WA 98007

GRAHAM AND CAROL GAISER  
14620 NE 13th PLACE  
BELLEVUE, WA 98007

DALE AND SANDRA GRIFFITH  
14610 NE 13th PLACE  
BELLEVUE, WA 98007

WILLIAM AND SUSAN CHATALAS  
14632 NE 13th PLACE  
BELLEVUE, WA 98007

**APPLICANT:**  
EVAN McMULLEN  
14642 NE 13th PLACE  
BELLEVUE, WA 98007

**ENGINEER/SURVEYOR/PLANNER  
LANDSCAPE ARCHITECT:**  
TRIAD ASSOCIATES  
12112 115th AVENUE NE  
KIRKLAND, WA 98034  
(425) 821-8448  
FAX (425) 821-3481  
CONTACT: RICK TOMKINS, PE

**SITE ADDRESS:**  
1405 148th AVE NE  
BELLEVUE, WA 98007

**EXISTING ZONING:**  
R-2.5

**PROPOSED ZONING:**  
R-2.5

**EXISTING LAND USE:**  
SINGLE FAMILY RESIDENTIAL

**GROSS SITE AREA:**  
161,409 SF (3.7 AC)

**BUILDING SET BACKS:**  
FRONT YARD: 20'  
SIDE YARD: 5' MIN. (15' TWO SIDE YARDS)  
REAR YARD: 25'

**CAUTION**  
LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE AND MAY NOT BE ACCURATE OR ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION OF UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. YOU MUST CALL 1-800-424-5555 NOT LESS THAN 2 FULL BUSINESS DAYS BEFORE BEGINNING EXCAVATION WHERE ANY UNDERGROUND UTILITIES MAY BE LOCATED. FAILURE TO DO SO COULD MEAN BEARING SUBSTANTIAL REPAIR COSTS.

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REVIEWED BY:	DATE:	REVISIONS		
NO	DATE	BY	APPR	PER CITY COMMENTS
1	11/17/09	DAM	RAT	PER CITY COMMENTS
2	3/10/10	DAM	RAT	PER CITY COMMENTS

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RICHARD A. TOMKINS, PE  
PROJECT MANAGER

ROBERT E. WALLIS, PLS  
PROJECT SURVEYOR

RICHARD A. TOMKINS, PE  
PROJECT ENGINEER

JEFFREY L. COX, ASLA 6/5/09  
LANDSCAPE ARCH. DATE

SCALE:  
HORIZ: 1"=50' VERT: N/A

**GRIFFITH**

1405 148TH AVE NE  
09-114656 GE

CITY OF BELLEVUE, WASHINGTON

UTILITY GRID #	GRID J-6
<b>COVER SHEET SITE PLAN B</b>	
JOB NUMBER:	<b>05-289</b>
SEC 27 TWP 25 RGE 5	SHT <b>1</b> OF <b>10</b>